

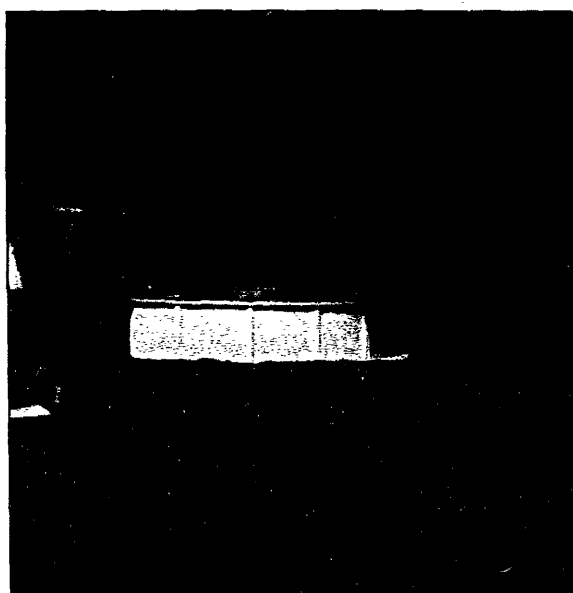
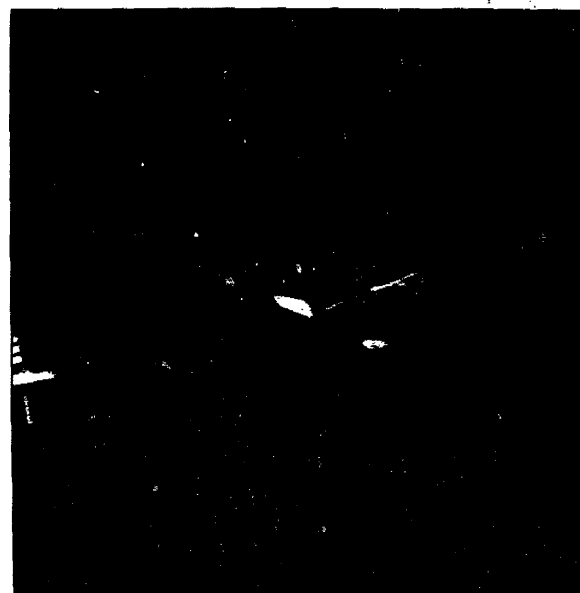
ZB# 04-47

Frank Malloy

16-4-33

ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553
Granted 10-25-04

62 ORBITAL LANE (102-53)
ZONING BOARD OF APPEALS (AREA)





Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

OFFICE OF THE ZONING BOARD OF APPEALS

March 15, 2005

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

SUBJECT: REQUEST FOR VARIANCE #04-47

Dear Mr. Malloy:

Please find enclosed two copies of the Formal Decision for your case before the Zoning Board of Appeals. Please keep these copies in your records for future reference if needed.

If you are in need of any further assistance or have any questions in this matter, please feel free to contact me at the above number.

Very truly yours,

Myra Mason, Secretary to the
NEW WINDSOR ZONING BOARD

MLM:mlm

cc: Michael Babcock, Building Inspector

NEW WINDSOR ZONING BOARD OF APPEALS

SBL: 16-4-33

In the Matter of the Application of

FRANK MALLOY

MEMORANDUM OF
DECISION GRANTING

AREA

CASE #04-47

WHEREAS, Frank Malloy, owner(s) of 67 Cedar Avenue, New Windsor, New York, 12553, has made application before the Zoning Board of Appeals for a/an
9 ft. Rear Yard Setback for existing attached rear deck and; (300-11-A-1-B)
5 ft. Side Yard Setback for existing shed and; (300-11-A-1-B)
5 ft. Rear Yard Setback for existing shed (300-11-A-1-B)

All at 67 Cedar Avenue in an R-4 Zone (16-4-33)

WHEREAS, a public hearing was held on October 25, 2004 before the Zoning Board of Appeals at the Town Hall, New Windsor, New York; and

WHEREAS, the Applicant appeared on behalf of this Application; and

WHEREAS, there were no spectators appearing at the public hearing; and

WHEREAS, no one spoke in favor of or in opposition to the Application; and

WHEREAS, a decision was made by the Zoning Board of Appeals on the date of the public hearing granting the application; and

WHEREAS, the Zoning Board of Appeals of the Town of New Windsor sets forth the following findings in this matter here memorialized in furtherance of its previously made decision in this matter:

1. The notice of public hearing was duly sent to residents and businesses as prescribed by law and published in The Sentinel, also as required by law.
2. The Evidence presented by the Applicant showed that:
 - (a) The property is a residential property located in a neighborhood of residential properties.
 - (b) The applicant seeks permission to maintain a shed and a deck which have already been constructed and are in place.

- (c) The shed and deck have been there for approximately two years, during which time there have been no complaints, either formal or informal.
- (d) Neither the deck or the shed will create the ponding or collection of water or divert the flow of water drainage.
- (e) In construction of the shed and the deck no trees or substantial vegetation were removed.
- (f) The deck and the shed are similar in size and appearance to other decks and sheds in the neighborhood.
- (g) Neither the shed nor the deck interfere with any easements including, but not limited to, water, sewer, or utility easements.
- (h) The deck is located adjacent to an exit from the house therefore, a person exiting the house would, without the deck, would be likely to sustain serious physical injury.

WHEREAS, The Zoning Board of Appeals of the Town of New Windsor makes the following conclusions of law here memorialized in furtherance of its previously made decision in this matter:

1. The requested variance(s) will not produce an undesirable change in the character of the neighborhood or create a detriment to nearby properties.
2. There is no other feasible method available to the Applicant that can produce the benefits sought.
3. The variance(s) requested is/are substantial in relation to the Town regulations but, nevertheless, are warranted.
4. The requested variance(s) will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or zoning district.
5. The difficulty the Applicant faces in conforming to the bulk regulations is/are self-created but, nevertheless, should be allowed.
6. The benefit to the Applicant, if the requested variance(s) is/are granted, outweighs the detriment to the health, safety and welfare of the neighborhood or community.
7. The requested variance(s) are/is appropriate and are/is the minimum variance(s) necessary and adequate to allow the Applicant relief from the requirements of the Zoning Local Law

and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

8. The interests of justice will be served by allowing the granting of the requested area variance(s).

NOW, THEREFORE, BE IT

RESOLVED, that the Zoning Board of Appeals of the Town of New Windsor GRANT a request for a 9 ft. Rear Yard Setback for existing attached rear deck and; (300-11-A-1-B)
5 ft. Side Yard Setback for existing shed and; (300-11-A-1-B)
5 ft. Rear Yard Setback for existing shed (300-11-A-1-B)

All at 67 Cedar Avenue in an R-4 Zone (16-4-33)
as sought by the Applicant in accordance with plans filed with the Building Inspector and presented at the public hearing.

BE IT FURTHER

RESOLVED, that the Secretary of the Zoning Board of Appeals of the Town of New Windsor transmit a copy of this decision to the Town Clerk, Town Planning Board and/or Building Inspector and Applicant.

Dated: October 25, 2004



Chairman

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
OFFICE
845-563-4615**

MEMORANDUM

TO: LARRY REIS, COMPTROLLER
FROM: MYRA MASON, SECRETARY TO THE ZONING BOARD
DATE: JANUARY 28, 2005
SUBJECT: ESCROW REFUND

**PLEASE ISSUE A CHECK IN THE AMOUNT OF \$ 186.00 TO CLOSE OUT
ESCROW FOR:**

ZBA FILE #04-47

NAME & ADDRESS:

**Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553**

THANK YOU,

MYRA

L.R.1-28-2005



**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
RECORD OF CHARGES & PAYMENTS**



FILE #04-47 TYPE: AREA

APPLICANT Name & Address:

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

TELEPHONE: 568-5494

RESIDENTIAL:	\$ 50.00	CHECK # <u>581</u>
COMMERCIAL	\$ 150.00	CHECK # _____
INTERPRETATION	\$ 150.00	CHECK # _____

ESCROW: RESIDENTIAL \$300.00 CHECK # 582

~~~~~

| <u>DISBURSEMENTS:</u>        |                | <u>MINUTES</u><br><u>\$5.50 / PAGE</u> | <u>ATTORNEY</u><br><u>FEE</u> |
|------------------------------|----------------|----------------------------------------|-------------------------------|
| PRELIMINARY:                 | <u>3</u> PAGES | \$ <u>16.50</u>                        | \$ <u>35.00</u>               |
| 2 <sup>ND</sup> PRELIMINARY: | ____ PAGES     | \$ _____                               | \$ _____                      |
| PUBLIC HEARING:              | <u>5</u> PAGES | \$ <u>27.50</u>                        | \$ <u>35.00</u>               |
| PUBLIC HEARING:              | ____ PAGES     | \$ _____                               | \$ _____                      |

TOTAL:      \$ 44.00      \$ 70.00

~~~~~

ESCROW POSTED: \$ 300.00

LESS: DISBURSEMENTS: \$ 114.00

AMOUNT DUE: \$ _____

REFUND DUE: \$ 186.00

Cc:

October 25, 2004

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FRANK MALLOY (04-47)

MR. KANE: Request for 9 ft. rear yard setback for existing attached rear deck and 5 ft. side yard setback for existing shed and 5 ft. rear yard setback for existing shed all at 67 Cedar Avenue.

Mr. Frank Malloy appeared before the board for this proposal.

MR. KANE: Tell us what you want to do.

MR. MALLOY: Okay, I'm asking for the setback for the rear deck of 9 feet, my existing shed there is in the bottom corner of the property five feet, five feet on the, if you're looking at the shed on the right side and five foot on the rear of the shed.

MR. KANE: How long has the shed been up approximately, if you don't know?

MR. MALLOY: Two years.

MR. KANE: Any complaints formally or informally about the shed?

MR. MALLOY: No.

MR. KRIEGER: The deck is existing too, isn't it?

MR. KANE: Yes.

MR. KANE: The deck itself, too, how long has that been up?

MR. MALLOY: Same two years.

MR. KANE: Did you build both?

MR. MALLOY: Yes.

October 25, 2004

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MR. KANE: Get a building permit for them?

MR. MALLOY: In the process, actually.

MR. MINUTA: You're renewing the building permit?

MR. MALLOY: I had to renew it, I had one when it was being built and then it ran out.

MR. KANE: Create any water hazards or runoffs with either the building of the deck or the placement of the shed?

MR. MALLOY: No.

MR. KANE: Cut down any substantial vegetation or trees?

MR. MALLOY: No.

MR. KANE: And the same question for the deck I had for the shed, any complaints about it formally or informally?

MR. MALLOY: No.

MR. KANE: And the deck is similar in size, I mean the shed is similar in size to other sheds in your neighborhood?

MR. MALLOY: Yes.

MR. KANE: Would you consider it a financial hardship to move the shed?

MR. MALLOY: Yeah.

MR. KANE: Any easements in the area of either?

October 25, 2004

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MR. MALLOY: No, nothing else.

MR. MC DONALD: Looking at the pictures is this mounted on blocks or something?

MR. MALLOY: It's actually on shale and the blacktop goes right up to it.

MR. KANE: Is there a back entrance coming out of your home?

MR. MALLOY: Is there one? Yes.

MR. KANE: If the deck wasn't there, would it be a safety issue?

MR. KRIEGER: Person without the deck would go out the back door and fall a considerable, fall enough to hurt themselves?

MR. MALLOY: Yeah, absolutely.

MR. KANE: Sometimes we kind of lead you.

MR. MALLOY: I didn't understand what you meant, the house is actually the front of the house is level with the road and the back of the house goes down on an incline.

MR. KANE: So you need some kind of deck there?

MR. MALLOY: To walk out the back door, correct.

MR. KRIEGER: So without the deck a person might have to call the fire department?

MR. MALLOY: Correct.

MR. KANE: The size of the deck similar to other decks in your neighborhood?

MR. MALLOY: Yes.

MR. KANE: At this point, I will open it up to the public and ask if anybody's here for this particular hearing? Seeing as there's not, we'll close it at this point. Do you remember how many envelopes you mailed out approximately since we got it out of whack?

MS. MASON: This was the second time these were mailed out, the first time he did not appear for the public hearing so the first time there were 56 addressed envelopes went out.

MR. KANE: And got no responses?

MS. MASON: No. We remailed them out and republished.

MR. KANE: No responses the second time around anywhere?

MS. MASON: No.

MR. KANE: Okay, Len, any other questions?

MR. MC DONALD: No.

MS. GANN: No.

MS. LOCEY: No.

MR. MINUTA: No.

MR. KANE: You were late so you have to sit over there.

MR. REIS: I have not questions, sir, thank you very much.

MR. KANE: I'll accept a motion.

October 25, 2004

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MR. MC DONALD: I'll make that motion. I make a motion that we grant Mr. Malloy his variances for the 9 foot 3 yard setback for his existing attached rear deck, for his 5 foot side yard setback for the existing shed and the 5 foot rear yard setback for the existing shed all at 67 Cedar Avenue in R-4 zone.

MR. MINUTA: Second it.

ROLL CALL

MS. LOCEY	AYE
MR. MINUTA	AYE
MR. MC DONALD	AYE
MS. GANN	AYE
MR. KANE	AYE

MR. MALLOY: Thank you very much. Have a good evening.

MS. MASON: Here you go, tells you what to do next.

1 of 2

**OFFICE OF THE BUILDING INSPECTOR
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK**

NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

DATE: 5/28/04

APPLICANT: Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

PLEASE TAKE NOTICE THAT YOUR APPLICATION DATE:

FOR : Existing attached rear deck

LOCATED AT: 67 Cedar Avenue

ZONE: R-4 Sec/Blk/ Lot: 16-4-33

DESCRIPTION OF EXISTING SITE: Existing one family house

IS DISAPPROVED ON THE FOLLOWING GROUNDS:

1. Existing attached rear deck does not meet the minimum rear yard set-back of 40ft.

COPY


BUILDING INSPECTOR

PERMITTED

PROPOSED OR
AVAILABLE:

VARIANCE
REQUEST:

ZONE: R-4 USE: G-8

MIN LOT AREA:

MIN LOT WIDTH:

REQ'D FRONT YD:

REQ'D SIDE YD:

REQ'D TOTAL SIDE TD:

REQ'D REAR YD: 40ft

31ft

9ft

REQ'D FRONTAGE:

MAX BLDG HT:

FLOOR AREA RATIO:

MIN LIVABLE AREA:

DEV COVERAGE:

cc: Z.B.A., APPLICANT, FILE, W/ ATTACHED MAP

*Hand
delivered
to Frank
5/28/04*

04-47

PLEASE ALLOW FIVE TO TEN DAYS TO PROCESS
IMPORTANT
YOU MUST CALL FOR ALL REQUIRED INSPECTIONS OF CONSTRUCTION

Other inspections will be made in most cases but those listed below must be made or Certificate of Occupancy may be withheld. Do not mistake an unscheduled inspection for one of those listed below. Unless an inspection report is left on the job indicating approval of one of these inspections it has not been approved and it is improper to continue beyond that point in the work. Any disapproved work must be reinspected after correction.

1. When excavating is complete and footing forms are in place (before pouring.)
2. Foundation inspection. Check here for waterproofing and footing drains.
3. Inspect gravel base under concrete floors and under slab plumbing.
4. When framing, rough plumbing, rough electric and before being covered.
5. Insulation.
6. Final inspection for Certificate of Occupancy. Have on hand electrical inspection data and final certified plot plan. Building is to be completed at this time. Well water test required and engineer's certification letter for septic system required.
7. Driveway inspection must meet approval of Town Highway Superintendent. A driveway bond may be required.
8. \$50.00 charge for any site that calls for the inspection twice.
9. Call 24 hours in advance, with permit number, to schedule inspection.
10. There will be no inspections unless yellow permit card is posted.
11. Sewer permits must be obtained along with building permits for new houses.
12. Septic permit must be submitted with engineer's drawing and perc test.
13. Road opening permits must be obtained from Town Clerk's office.
14. All building permits will need a Certificate of Occupancy or a Certificate of Compliance and here is no fee for this.

RECEIVED
JUL 22 2003
BUILDING DEPARTMENT
FOR OFFICE USE ONLY:
Building Permit #: DA 2003-0903

**AFFIDAVIT OF OWNERSHIP AND/OR CONTRACTOR'S COMP & LIABILITY INSURANCE CERTIFICATE IS
REQUIRED BEFORE THE BUILDING PERMIT APPLICATION WILL BE ACCEPTED AND/OR ISSUED**

PLEASE PRINT CLEARLY - FILL OUT ALL INFORMATION WHICH APPLIES TO YOU

Owner of Premises FRANK L. WALLOF

Address 67 CEDAR AVE Phone # 568-5494

Mailing Address S.A.A. Fax # _____

Name of Architect _____

Address _____ Phone _____

Name of Contractor OWNER

Address S.A.N. Phone _____

State whether applicant is owner, lessee, agent, architect, engineer or builder _____

If applicant is a corporation, signature of duly authorized officer _____

(Name and title of corporate officer)

1. On what street is property located? On the _____ side of _____
(N, S, E or W)
and _____ feet from the intersection of _____

2. Zone or use district in which premises are situated _____ Is property a flood zone? Y _____ N _____

3. Tax Map Description: Section 16 Block 4 Lot 33

4. State existing use and occupancy of premises and intended use and occupancy of proposed construction.

a. Existing use and occupancy _____ b. Intended use and occupancy _____

5. Nature of work (check if applicable) ☐ New Bldg. ☒ Addition ☐ Alteration ☐ Repair ☐ Removal ☐ Demolition ☐ Other

6. Is this a corner lot? NO

NEW Deck. (16x20)

7. Dimensions of entire new construction. Front _____ Rear _____ Depth _____ Height _____ No. of stories _____

8. If dwelling, number of dwelling units: _____ Number of dwelling units on each floor _____

Number of bedrooms _____ Baths _____ Toilets _____ Heating Plant: Gas _____ Oil _____
Electric/Hot Air _____ Hot Water _____ If Garage, number of cars _____

9. If business, commercial or mixed occupancy, specify nature and extent of each type of use _____

10. Estimated cost _____

Fee

\$ 50 ck # 2967
due 7/21/03

PAID

date

APPLICATION FOR BUILDING PERMIT
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
Pursuant to New York State Building Code and Town Ordinances

Building Inspector: Michael L. Babcock
Asst. Inspectors: Frank Liel & Louis Krysheer
New Windsor Town Hall
555 Union Avenue
New Windsor, New York 12553
(845) 563-4818
(845) 563-4885 FAX

Bldg Insp Examined _____
Fire Insp Examined _____
Approved _____
Disapproved _____
Permit No. _____

INSTRUCTIONS

- A. This application must be completely filled in by typewriter or in ink and submitted to the Building Inspector.
- B. Plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and giving a detailed description of layout of property must be drawn on the diagram, which is part of this application.
- C. This application must be accompanied by two complete sets of plans showing proposed construction and two complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed and details of structural, mechanical and plumbing installations.
- D. The work covered by this application may not be commenced before the issuance of a Building Permit.
- E. Upon approval of this application, the Building Inspector will issue a Building Permit to the applicant together with approved set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- F. No building shall be occupied or used in whole or in part for any purpose whatever until a Certificate of Occupancy shall have been granted by the Building Inspector.

APPLICATION IS HEREBY MADE to the Building Inspector for the issuance of a Building Permit pursuant to the New York Building Construction Code Ordinances of the Town of New Windsor for the construction of buildings, additions, or alterations, or for removal or demolition or use of property as herein described. The applicant agrees to comply with all applicable laws, ordinances, regulations and certifies that he is the owner or agent of all that certain lot, place or parcel of land and/or building described in this application and if not the owner, that he has been duly and properly authorized to make this application and to assume responsibility for the owner in connection with this application.

(Signature of Applicant)

67 Indian Ave.

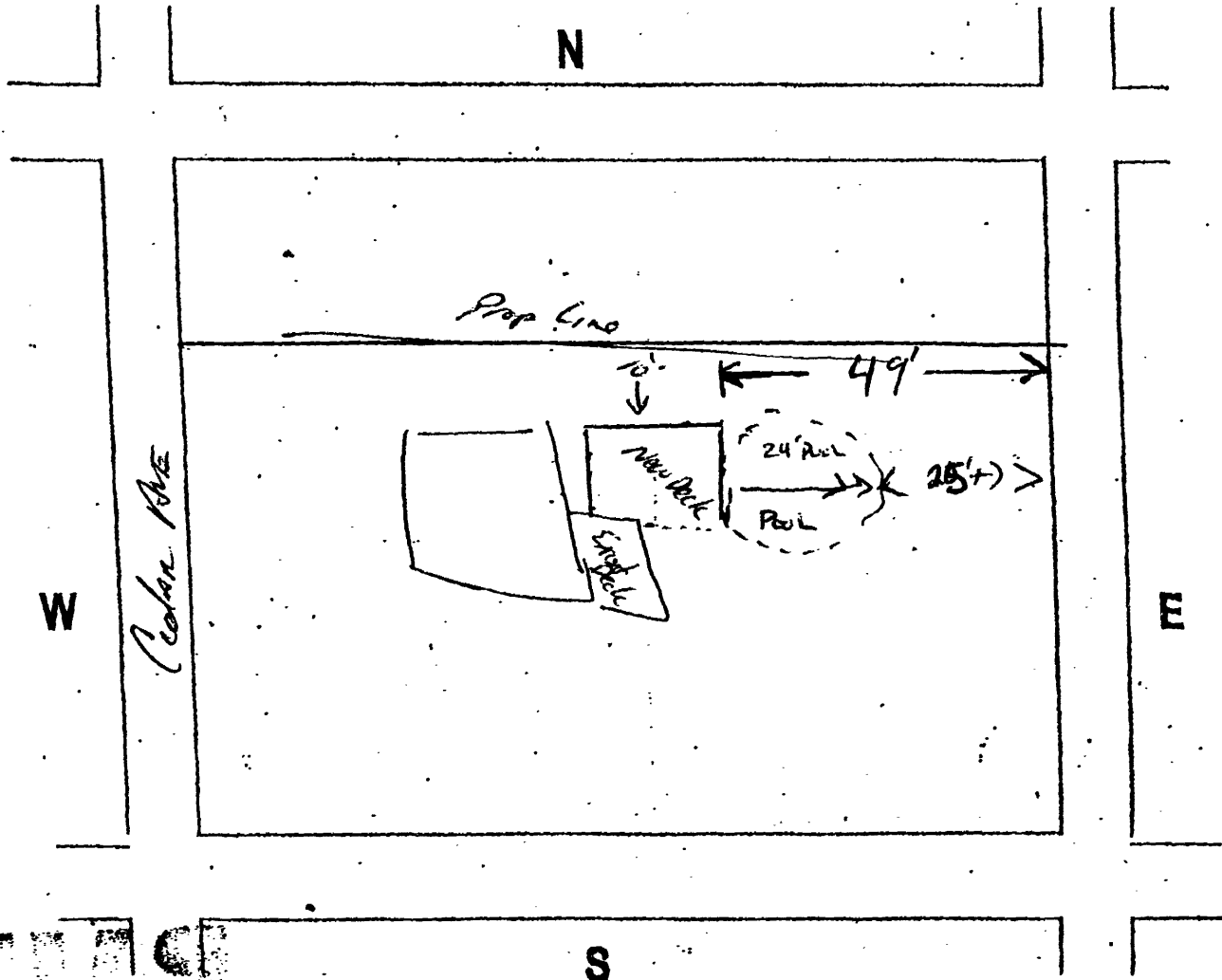
(Address of Applicant)

(Owner's Signature)

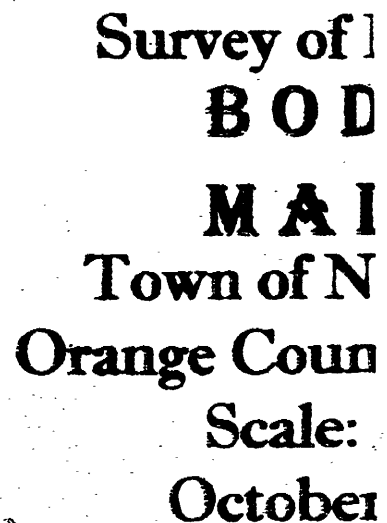
(Owner's Address)

PLOT PLAN

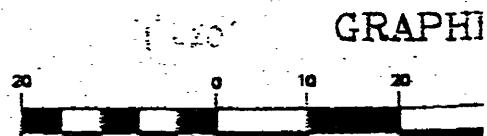
NOTE: Locate all buildings and indicate all set back dimensions. Applicant must indicate the building line or lines clearly and distinctly on the drawings.



Issuing of a new title policy or policy referencing this survey with update of this survey by the Registrar and Land Surveying, P.C. shall be expressed or implied hereon.



Revised 11/13/03 J. Marney



This is a detailed plat map of a portion of Lucas County, Iowa. The map shows several roads: Cedar Avenue running diagonally from the top left to the bottom right, Budney Drive running horizontally across the middle, and Wind Ridge Drive (Proposed) running diagonally from the bottom left to the top right. The map is divided into numerous numbered lots, many of which are grouped into subdivisions. The subdivisions shown include the Wind Ridge Subdivision (lots 1-11), the Lucas Subdivision (lots 12-18), and the Budney Drive Subdivision (lots 19-25). The map also shows the Lucas Subdivision (lots 26-35). Various measurements in feet are provided for the lots and the roads. A north arrow is located in the upper left corner. The map is titled "PLAT MAP OF A PORTION OF LUCAS COUNTY, IOWA" and "MAP 1815".



RESULTS OF Z.B.A. MEETING OF: October 25, 2004

PROJECT: Frank Malloy

ZBA # 04-47

P.B.# _____

USE VARIANCE: _____ NEED: EAF _____ PROXY _____



LEAD AGENCY: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LOCEY _____
RIVERA _____
MCDONALD _____ CARRIED: Y _____ N _____
REIS _____
MINUTA _____
KANE _____

PUBLIC HEARING: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LOCEY _____
RIVERA _____
MCDONALD _____ CARRIED: Y _____ N _____
REIS _____
MINUTA _____
KANE _____

NEGATIVE DEC: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LOCEY _____
RIVERA _____
MCDONALD _____ CARRIED: Y _____ N _____
REIS _____
MINUTA _____
KANE _____

APPROVED: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LOCEY _____
RIVERA _____
MCDONALD _____ CARRIED: Y _____ N _____
REIS _____
MINUTA _____
KANE _____

ALL VARIANCES - PRELIMINARY APPEARANCE:

SCHEDULE PUBLIC HEARING: M) _____ S) _____ VOTE: A _____ N _____

GANN _____
LOCEY _____
RIVERA _____
MCDONALD _____
REIS _____ CARRIED: Y _____ N _____
MINUTA _____
KANE _____

PUBLIC HEARING: STATEMENT OF MAILING READ INTO MINUTES ☒

VARIANCE APPROVED: M) MC S) HN VOTE: A 5 N 0.

GANN A
LOCEY A
~~REIS~~
MC DONALD A
~~REIS~~
MINUTA A
KANE A

CARRIED: Y 5 N 0.

No water hazards created

No Trees cut

No Complaints

Similar in size

No easements

Deck is adjacent to entrance in rear.



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

ZONING BOARD OF APPEALS

October 5, 2004

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

SUBJECT: REQUEST FOR VARIANCE #04-47

Dear Mr. Malloy:

This is just to let you know your Notices for Public Hearing were mailed out and the notice was also sent to The Sentinel Newspaper for publication. **PLEASE NOTE: The Sentinel will bill you directly for this add. This is not included in the escrow you posted upon application.**

Your Public Hearing before the Zoning Board of Appeals for your requested variance at:

67 Cedar Avenue
New Windsor, NY

is scheduled for the October 25, 2004 agenda.

This meeting starts at 7:30 p.m. and is held in the Town Meeting Room at Town Hall. If you have any questions or concerns in this matter, please feel free to contact me.

Very truly yours,

Myra Mason, Secretary
Zoning Board of Appeals

MLM:mlm

PUBLIC HEARINGS:

FRANK MALLOY (04-47)

MR. KANE: Okay, we'll start tonight's public portion of the meeting. Just a note that the number six spot, John Taldone, that will be moved to the last hearing and seven and eight will move up one. First public hearing for this evening is Frank Malloy request for 9 foot yard setback for existing attached rear deck, five foot side yard setback for existing shed and a five foot rear yard setback for existing shed. Mr. Malloy.

No one present to represent this application.

MR. KANE: Okay, put that on hold.

PUBLIC HEARING NOTICE
ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the TOWN OF NEW WINDSOR, New York, will hold a Public Hearing on the following Proposition:

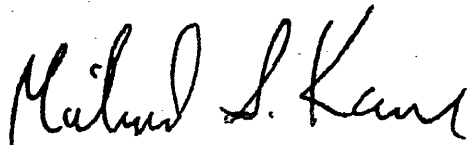
Appeal No. 04-47

Request of FRANK MALLOY

for a VARIANCE of the Zoning Local Law to Permit:

9 ft. Rear Yard Setback for existing attached rear deck and; (300-11-A-1-B)
5 ft. Side Yard Setback for existing shed and; (300-11-A-1-B)
5 ft. Rear Yard Setback for existing shed (300-11-A-1-B)

PUBLIC HEARING will take place on OCTOBER 25, 2004
at the New Windsor Town Hall, 555 Union Avenue, New Windsor, New York
beginning at 7:30 P.M.



Michael Kane, Chairman

**ZONING BOARD OF APPEALS: TOWN OF NEW WINDSOR
COUNTY OF ORANGE: STATE OF NEW YORK**

-----X

In the Matter of the Application for Variance of

FRANK MALLOY

AFFIDAVIT OF
SERVICE
BY MAIL

#04-47

----- X

STATE OF NEW YORK)

) SS:

COUNTY OF ORANGE)

MYRA L. MASON, being duly sworn, deposes and says:

That I am not a party to the action, am over 18 years of age and reside at 67 Bethlehem Road, New Windsor, NY 12553.

That on the 12TH day of JULY, 2004, I compared the 56 addressed envelopes containing the Public Hearing Notice pertinent to this case with the certified list provided by the Assessor's Office regarding the above application for a variance and I find that the addresses are identical to the list received. I then placed the envelopes in a U.S. Depository within the Town of New Windsor.

Sworn to before me this

Myra L. Mason
Myra L. Mason, Secretary

13th day of July, 2004

Deborah Green
Notary Public

DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
4984065
Commission Expires July 15, 2007

PUBLIC HEARING NOTICE
ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the TOWN OF NEW WINDSOR, New York, will hold a Public Hearing on the following Proposition:

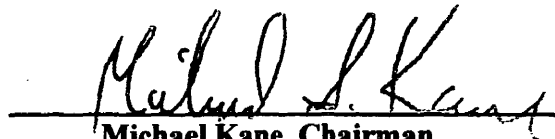
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Request of FRANK MALLOY

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9 ft. Rear Yard Setback for existing attached rear deck and; (300-11-A-1-B)
5 ft. Side Yard Setback for existing shed and; (300-11-A-1-B)
5 ft. Rear Yard Setback for existing shed (300-11-A-1-B)

PUBLIC HEARING will take place on JULY 26, 2004
at the New Windsor Town Hall, 555 Union Avenue, New Windsor, New York
beginning at 7:30 P.M.


Michael Kane, Chairman



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

ZONING BOARD OF APPEALS

July 12, 2004

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

SUBJECT: REQUEST FOR VARIANCE #04-47

Dear Mr. Malloy:

This is just to let you know your Notices for Public Hearing were mailed out and the notice was also sent to The Sentinel Newspaper for publication. **PLEASE NOTE: The Sentinel will bill you directly for this add. This is not included in the escrow you posted upon application.**

Your Public Hearing before the Zoning Board of Appeals for your requested variance at:

67 Cedar Avenue
New Windsor, NY

is scheduled for the JULY 26, 2004 agenda.

This meeting starts at 7:30 p.m. and is held in the Town Meeting Room at Town Hall. If you have any questions or concerns in this matter, please feel free to contact me.

Very truly yours,

Myra Mason, Secretary
Zoning Board of Appeals

MLM:mlm

FRANK MALLOY (04-47)

Mr. Frank Malloy appeared before the board for this proposal.

MR. KANE: Request for 9 ft. rear yard setback for existing attached rear deck and 5 ft. side yard setback for existing shed all at 67 Cedar Avenue in an R-4 zone. Tell us what you want to do.

MR. MALLOY: Request a variance for my rear deck and shed.

MR. KANE: How long has the deck been up?

MR. MALLOY: Two years.

MR. MC DONALD: No complaints formal or informal?

MR. MALLOY: No, I checked my neighbors before I did it and there was a deck there and they said no problem anyway.

MR. KANE: What size deck is it?

MR. MALLOY: 16 x 20.

MR. KANE: And the shed, how long has that be around?

MR. MALLOY: It's a newer shed so I would say two years, 2 1/2 years.

MR. KANE: Is it on a concrete pad?

MR. MALLOY: No, it's actually just on shale, it's movable.

MR. KANE: If it's movable, tell me why you can't move it?

MR. MALLOY: Actually, a driveway that was put in and it just happened to fit in that corner area so it kind of fits in that corner.

MR. KANE: Similar to other sheds in that area?

MR. BABCOCK: If he moves it in, it will be on his driveway.

MR. KANE: I figured he said it's movable, I better cover the question.

MR. BABCOCK: I guess what he's saying is anything is movable. Do you see the site plan there?

MR. KANE: Yes. If you put it anyplace else on your property, it would be either a safety hazard for the pool or you'd need a variance?

MR. MALLOY: Correct, it's a tight lot.

MR. KANE: That answers that question. Do you know was there any cutting down of trees or substantial vegetation?

MR. MALLOY: No.

MR. REIS: Not going over any easements or right-of-ways?

MR. MALLOY: No.

MR. KANE: Not creating any water hazards or anything like that?

MR. MALLOY: No.

MR. KANE: Okay, I think I've got enough.

MR. RIVERA: These are all existing, what brings you

before the board?

MR. MALLOY: I was looking to sell my house and clean up all the existing C.O.s that were there or C.O.s for the permits if you want to say.

MR. KANE: Any other questions?

MR. RIVERA: Accept a motion?

MR. KANE: Yes, I will.

MR. RIVERA: Move we set up Mr. Frank Malloy for his requested 9 foot rear yard setback for the existing attached rear deck and 5 foot side yard setback for the existing shed all at 67 Cedar Avenue.

MR. MC DONALD: Second it.

ROLL CALL

MR. RIVERA	AYE
MR. REIS	AYE
MR. MC DONALD	AYE
MR. KANE	AYE



RESULTS OF Z.B.A. MEETING OF:

June 14, 2004

PROJECT:

Frank Malloy

ZBA #

04-47

P.B.#



USE VARIANCE:

NEED: EAF

PROXY

LEAD AGENCY: M) S) VOTE: A N

RIVERA

MCDONALD

REIS

MINUTA

KANE

CARRIED: Y N

NEGATIVE DEC: M) S) VOTE: A N

RIVERA

MCDONALD

REIS

MINUTA

KANE

CARRIED: Y N

PUBLIC HEARING: M) S) VOTE: A N

RIVERA

MCDONALD

REIS

MINUTA

KANE

CARRIED: Y N

APPROVED: M) S) VOTE: A N

RIVERA

MCDONALD

REIS

MINUTA

KANE

CARRIED: Y N

ALL VARIANCES - PRELIMINARY APPEARANCE:

SCHEDULE PUBLIC HEARING:

M) RY S) MC

VOTE: A 4 N

RIVERA

MCDONALD

REIS

MINUTA

KANE

CARRIED: Y N

PUBLIC HEARING:

STATEMENT OF MAILING READ INTO MINUTES

VARIANCE APPROVED:

M) S) VOTE: A N

RIVERA

MC DONALD

REIS

MINUTA

KANE

CARRIED: Y N

No Easements
Water Hazards
Vegetation



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-4693

Assessors Office

June 11, 2004

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

Re: 16-4-33 ZBA# 04-47

Dear Mr. Malloy:

According to our records, the attached list of property owners are within five hundred (500) feet of the above referenced property.

The charge for this service is \$ 75.00, minus your deposit of \$25.00.

Please remit the balance of \$ 50.00 to the Town Clerk's Office.

Sincerely,

J. Todd Wiley, IAO
Sole Assessor

JTW/tmp
Attachments

CC: Myra Mason, Zoning Board

15-8-4 – 15-8-7
Charles & Jane Baranski
106 Blanche Avenue
New Windsor, NY 12553

15-8-13.1 & 15-8-212
Anthony & Arlene Yonnone
56 Cedar Avenue
New Windsor, NY 12553

15-8-13.231
Loretta McArdle
77 Melrose Avenue
New Windsor, NY 12553

15-8-20.11
Felicita Pagan
110 Blanche Avenue
New Windsor, NY 12553

15-8-22.1
Delia Colon
113 Blanche Avenue
New Windsor, NY 12553

15-8-25
Joseph & Karen Micheletti
119 Blanche Avenue
New Windsor, NY 12553

15-8-35
Allen & Debra Bushey
112 Blanche Avenue
New Windsor, NY 12553

16-1-3
George Friedle
8 Bradford Terrace
New Windsor, NY 12553

16-1-13
Bernardo Colandrea
13 Veronica Avenue
New Windsor, NY 12553

16-1-17
James & Catherine Lima
7 Veronica Avenue
New Windsor, NY 12553

15-8-9 – 15-8-11
Ellsworth Wayman
5 Bradford Avenue
New Windsor, NY 12553

15-8-13.211
Alfred & Sharion Barrett
85 Blanche Avenue
New Windsor, NY 12553

15-8-14
Alfred & Estelle Ortenzo
75 Melrose Avenue
New Windsor, NY 12553

15-8-20.2
Andrew & Geraldine Masten
30 Goodman Avenue
New Windsor, NY 12553

15-8-23
Anthony & Kimberly Ricci
115 Blanche Avenue
New Windsor, NY 12553

15-8-26
Humberto & Linda Alvarez
121 Blanche Avenue
New Windsor, NY 12553

16-1-1
Franklin & Rachelle Critelli
2 Bradford Terrace
New Windsor, NY 12553

16-1-4
James & Isabel Rapp
10 Bradford Terrace
New Windsor, NY 12553

16-1-14
Roberta Handy
c/o Drake-Wurfter
12 Oxford Road
New Windsor, NY 12553

16-1-18
Sharen Branch
55 Cedar Avenue
New Windsor, NY 12553

15-8-12
Isabelle Burgoa
52 Cedar Avenue
New Windsor, NY 12553

15-8-13.22
David & Roberta Short
87 Blanche Avenue
New Windsor, NY 12553

15-8-19
Cathy & Thomas Freeman, III
79 Melrose Avenue
New Windsor, NY 12553

15-8-21.1
Kathleen & Joseph O'Brien, Jr.
111 Blanche Avenue
New Windsor, NY 12553

15-8-24
William & Geraldine O'Connell
117 Blanche Avenue
New Windsor, NY 12553

15-8-34
Richard & Dorothy Urbaniak
114 Blanche Avenue
New Windsor, NY 12553

16-1-2
Thomas Nytko
6 Bradford Terrace
New Windsor, NY 12553

16-1-12
Nilsa Gonzalez
15 Veronica Avenue
New Windsor, NY 12553

16-1-15.1
Kenneth & Karen Bergin
9 Veronica Avenue
New Windsor, NY 12553

16-4-1
Dennis Lebron
Ada Rivera
349 Huckleberry Turnpike
Wallkill, NY 12589

16-4-2
Clifford & Patricia Budney
12 Veronica Avenue
New Windsor, NY 12553

16-4-20
Richard Perna
2980 Summit Drive
Mobile, AL 36618

16-4-23
Francis & Colleen Donnery
12 Hilltop Drive
New Windsor, NY 12553

16-4-26
Dawn Benitez
6 Hilltop Drive
New Windsor, NY 12553

16-4-29
Vincent Nicastrì
3 Budney Drive
New Windsor, NY 12553

16-4-32
Tony Chassi
69 Cedar Avenue
New Windsor, NY 12553

18-1-22
New Windsor Little League, Inc.
P.O. Box 4024
New Windsor, NY 12553

19-1-3
Mary Moxham
c/o Joseph & Margaret Tiso
5 Hilltop Drive
New Windsor, NY 12553

19-1-6
Gerald & Patricia Wright
11 Hilltop Drive
New Windsor, NY 12553

16-4-4
Gary & Darla Dreyer
18 Veronica Avenue
New Windsor, NY 12553

16-4-21
Richard Stefanchik
16 Hilltop Drive
New Windsor, NY 12553

16-4-24
Pamela Freeman
10 Hilltop Drive
New Windsor, NY 12553

16-4-27
Luis Molina
4 Hilltop Drive
New Windsor, NY 12553

16-4-30
Kevin & Shirley Reggero
5 Reggero Drive
Newburgh, NY 12550

16-4-34
Devon & Sonia Cameron
65 Cedar Avenue
New Windsor, NY 12553

19-1-1
Robert & Linda Bloomberg
1 Hilltop Drive
New Windsor, NY 12553

19-1-4
Edward & Barbara Johnson
7 Hilltop Drive
New Windsor, NY 12553

19-3-2
Raymond & Ruth Decker
15 Hilltop Drive
New Windsor, NY 12553

16-4-19
Jerome & Jeanne Alperovitz
20 Hilltop Drive
New Windsor, NY 12553

16-4-22
Barbara Monte
14 Hilltop Drive
New Windsor, NY 12553

16-4-25
Robert Hatfield
8 Hilltop Drive
New Windsor, NY 12553

16-4-28
Adrian & Marie Gokey
2 Hilltop Drive
New Windsor, NY 12553

16-4-31
James & Edna Lynch
71 Cedar Avenue
New Windsor, NY 12553

16-4-35
Daniel & Regina Elliott
63 Cedar Avenue
New Windsor, NY 12553

19-1-2
Gerard Impellittiere, Jr.
Maria Colandrea
10 Burning Tree Drive
Newburgh, NY 12550

19-1-5
Miner & Ann Marie McMillen
9 Hilltop Drive
New Windsor, NY 12553

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#568-2004

06/10/2004

Malloy, Frank

ZBA 04-47 application

Received \$ 50.00 for Zoning Board Fees, on 06/10/2004. Thank you for
stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS

RECEIPT OF ESCROW RECEIVED:

DATE RECEIVED: JUNE 10, 2004

FOR: ESCROW 04-47

FROM: FRANK MALLOY

67 CEDAR AVENUE

NEW WINDSOR, NY 12553

CHECK NUMBER: 582

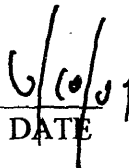
TELEPHONE: 568-5494

AMOUNT: 300.00

RECEIVED AT COMPTROLLER'S OFFICE BY:



NAME



DATE

PLEASE RETURN ONE SIGNED COPY TO MYRA FOR FILING

THANK YOU

TOWN OF NEW WINDSOR

REQUEST FOR NOTIFICATION LIST

DATE: JUNE 10, 2004 PROJECT NUMBER: ZBA# 04-47 P.B. # _____

APPLICANT NAME: FRANK MALLOY

PERSON TO NOTIFY TO PICK UP LIST:

FRANK MALLOY
67 CEDAR AVENUE
NEW WINDSOR, NY

TELEPHONE: 568-5494

TAX MAP NUMBER:	SEC. <u>16</u>	BLOCK <u>4</u>	LOT <u>33</u>
	SEC. _____	BLOCK _____	LOT _____
	SEC. _____	B LOCK _____	LOT _____

PROPERTY LOCATION: 67 CEDAR AVENUE
NEW WINDSOR, NY

THIS LIST IS BEING REQUESTED BY:

NEW WINDSOR PLANNING BOARD: _____

SITE PLAN OR SUBDIVISION: (ABUTTING AND ACROSS ANY STREET) _____

SPECIAL PERMIT ONLY: (ANYONE WITHIN 500 FEET) _____

AGRICULTURAL DISTRICT:
 (ANYONE WITHIN THE AG DISTRICT WHICH IS WITHIN 500'
 OF SITE PLAN OR SUBDIVISION PROJECT) _____

❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖

NEW WINDSOR ZONING BOARD XXX

LIST WILL CONSIST OF ALL PROPERTY WITHIN 500 FEET OF PROJECT XXX

❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖ ❖

AMOUNT OF DEPOSIT: 25.00 CHECK NUMBER: 583

TOTAL CHARGES: _____



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

ZONING BOARD OF APPEALS

June 10, 2004

Frank Malloy
67 Cedar Avenue
New Windsor, NY 12553

SUBJECT: REQUEST FOR VARIANCE #04-47

Dear Mr. Malloy:

This letter is to inform you that you have been placed on the June 14th, 2004 agenda for the Zoning Board of Appeals to discuss your request for a variance at:

67 Cedar Avenue
New Windsor, NY

This meeting starts at 7:30 p.m. and is held in the Town Meeting Room at Town Hall. If you have a problem with this time and/or date, please contact me at the above number and we will reschedule your appearance. If you have any further questions, please feel free to contact me.

Very truly yours,

Myra Mason, Secretary
Zoning Board of Appeals

MLM:mlm



**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS**



APPLICATION FOR VARIANCE

5/28/04

Date

Application Type: Use Variance ☐ Area Variance ☐
Sign Variance ☐ Interpretation ☐

I. Owner Information:

Phone Number: (845) 568-5444

Fax Number: () SAME

Frank L. Malloy

(Name)

67 Cedar Ave.

(Address)

II. Applicant:

SAME

Phone Number: ()

(Name)

Fax Number: ()

(Address)

III. Forwarding Address, if any, for return of escrow:

Phone Number: ()

SAME

Fax Number: ()

(Name)

(Address)

IV. Contractor/Engineer/Architect/Surveyor/:

Phone Number ()

Fax Number: ()

Owner

(Name)

(Address)

V. Property Information:

Zone: R 4 Property Address in Question: 67 Cedar Ave.

Lot Size: .1761 Acres Tax Map Number: Section 16 Block 4 Lot 33

a. What other zones lie within 500 feet? NONE

b. Is pending sale or lease subject to ZBA approval of this Application? YES

c. When was property purchased by present owner? Nov. 2000

d. Has property been subdivided previously? NO If so, When: _____

e. Has an Order to Remedy Violation been issued against the property by the
Building/Zoning/Fire Inspector? NO

f. Is there any outside storage at the property now or is any proposed? _____

******PLEASE NOTE:*******

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

04-47

COMPLETE THIS PAGE ☐

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS**

APPLICATION FOR VARIANCE - continued

VIII. AREA VARIANCE: (This information will be on your Building Department Denial form you receive)

Area Variance requested from New Windsor Zoning Local Law,

	<u>Requirements</u>	<u>Proposed or Available</u>	<u>Variance Request</u>
Min. Lot Area			
Min. Lot Width			
Reqd. Front Yd.			
Reqd. Side Yd.			
Reqd. Rear Yd.	40'	31'	9'
Reqd. St Front*			
Max. Bldg. Hgt.			
Min. Floor Area*			
Dev. Coverage*			
Floor Area Ration**			
Parking Area			

*Residential Districts Only

**Non-Residential Districts Only

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

04-47

COMPLETE THIS PAGE ☐

**TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS**

APPLICATION FOR VARIANCE - continued

- IX. In making its determination, the ZBA shall take into consideration, among other aspects, the benefit to the applicant if the variance is granted as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. Also, whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; (2) whether the benefit sought by the applicant can be achieved by some other method feasible for the applicant to pursue other than an area variance; (3) whether the requested area variance is substantial; (4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and (5) whether the alleged difficulty was self-created.

After reading the above paragraph, please describe why you believe the ZBA should grant your application for an Area Variance:

The Second deck was built for the convenience and safety of the use of the Pool. The second deck enhances the rear yard where the Pool was placed.

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

04-47

COMPLETE THIS PAGE ☐

XII. ADDITIONAL COMMENTS:

- (a) Describe any conditions or safeguards you offer to ensure that the quality of the zone and neighboring zones is maintained or upgraded and that the intent and spirit of the New Windsor Zoning Local Law is fostered. (Trees, landscaped, curbs, lighting, paving, fencing, screening, sign limitations, utilities, drainage.)
-
-

XIII. ATTACHMENTS REQUIRED:

- ☐ Copy of contract of sale, lease or franchise agreement. Copy of deed and title policy.
- ☐ Copy of site plan or survey (if available) showing the size and location of the lot, buildings, facilities, utilities, access drives, parking areas, trees, landscaping, fencing, screening, signs, curbs, paving and streets within 200 ft. of the lot in question.
- ☐ Copies of signs with dimensions and location.
- ☐ Three checks: (each payable to the TOWN OF NEW WINDSOR)
 - ☐ One in the amount of \$ 300.00 or 500.00 , (escrow)
 - ☐ One in the amount of \$ 50.00 or 150.00 , (application fee)
 - ☐ One in the amount of \$ 25.00 , (Public Hearing List Deposit)
- ☐ Photographs of existing premises from several angles. (IF SUBMITTING DIGITAL PHOTOS PRINTED FROM COMPUTER – PLEASE SUBMIT THREE(3) SETS OF THE PHOTOS.)

XIV. AFFIDAVIT.

STATE OF NEW YORK)

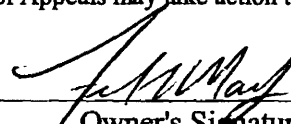
) SS.:

COUNTY OF ORANGE)

The undersigned applicant, being duly sworn, deposes and states that the information, statements and representations contained in this application are true and accurate to the best of his/her knowledge or to the best of his/her information and belief. The applicant further understands and agrees that the Zoning Board of Appeals may take action to rescind any variance granted if the conditions or situation presented herein are materially changed.

Sworn to before me this:

28th day of May 2004.



Owner's Signature (Notarized)

JENNIFER MEAD

Notary Public, State Of New York
No. 01ME6050024

Qualified In Orange County
Commission Expires 10/30/ 2006

Owner's Name (Please Print)



Signature and Stamp of Notary

Applicant's Signature (If not Owner)

PLEASE NOTE:

THIS APPLICATION, IF NOT FINALIZED, EXPIRES ONE YEAR FROM THE DATE OF SUBMITTAL.

COMPLETE THIS PAGE ☐

04-47



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NY 12553
(845) 563-4615 (MYRA MASON)



ZONING BOARD PROCEDURES

**PLEASE READ PAGE ONE AND TWO OF THIS PACKAGE AND SIGN PAGE TWO
IT EXPLAINS THE PROCEDURE TO BE FOLLOWED FOR YOUR APPLICATION.**

PLEASE COMPLETE THE ATTACHED APPLICATION FORMS WHERE IT APPLIES TO YOUR SITUATION AND RETURN TO MYRA MASON (845-563-4615) AT THE ZONING BOARD OFFICE (LOCATED IN THE PLANNING BOARD & ENGINEERING OFFICE IN TOWN HALL) WITH THREE CHECKS MADE PAYABLE TO "THE TOWN OF NEW WINDSOR" AS FOLLOWS:

RESIDENTIAL: (Three Separate Checks Please)

APPLICATION FEE: \$ 50.00

*ESCROW: \$300.00

****DEPOSIT FOR PUBLIC HEARING LIST: \$ 25.00**

MULTI-FAMILY: (Three Separate Checks Please)

APPLICATION FEE: \$150.00

*ESCROW: \$500.00

****DEPOSIT FOR PUBLIC HEARING LIST: \$ 25.00**

COMMERCIAL: (Three Separate Checks Please)

APPLICATION FEE: \$150.00

*ESCROW: \$500.00

****DEPOSIT FOR PUBLIC HEARING LIST: \$ 25.00**

INTERPRETATION: (Three Separate Checks Please)

APPLICATION FEE: \$150.00

*ESCROW: \$500.00

****DEPOSIT FOR PUBLIC HEARING LIST: \$ 25.00**

YOU WILL THEN BE SCHEDULED FOR THE NEXT AVAILABLE AGENDA FOR YOUR "PRELIMINARY MEETING".

*

ESCROW

IS TO COVER OUTSIDE PROFESSIONAL FEES SUCH AS ZBA ATTORNEY FEE, MINUTES OF YOUR PORTION OF THE MEETING, ETC. THE BALANCE WILL BE RETURNED TO YOU UPON CLOSING FILE.

THE APPLICANT WILL BE BILLED DIRECTLY FOR THE PUBLIC HEARING ADVERTISEMENT IN THE "SENTINEL NEWSPAPER"



LIST OF PROPERTY OWNERS
WITHIN 500 FT. RADIUS OF
PROPERTY IN QUESTION:

APPROXIMATE COST FOR
PUBLIC HEARING LIST:

1-10 NAMES	25.00
11-20 NAMES	35.00
21-30 NAMES	45.00
31-40 NAMES	55.00
41-50 NAMES	65.00
51-60 NAMES	75.00
61-70 NAMES	85.00
71-80 NAMES	95.00
81-90 NAMES	105.00
91-100 NAMES	115.00

ANYTHING OVER 100 NAMES
IS \$1.00 EA. ADDITIONAL
NAME

FOLLOWING YOUR PRELIMINARY MEETING, THE ZONING BOARD SECRETARY WILL ORDER YOUR "PUBLIC HEARING LIST" FROM THE ASSESSOR'S OFFICE.

1. WHEN THE ASSESSOR'S OFFICE NOTIFIES YOU THAT YOUR LIST IS READY, YOU MUST COME IN AND PAY THE BALANCE DUE FOR THE LIST. (THIS WILL BE PREPARED ON LABELS FOR YOUR CONVENIENCE).
2. PREPARE AN ENVELOPE (*self-sealing envelopes are much appreciated*) FOR EACH LABEL WITH YOUR RETURN ADDRESS AND A REGULAR \$.37 STAMP. BRING THE PREPARED ENVELOPES AND A COPY OF THE LIST TO THE ZONING BOARD SECRETARY FOR MAILING. ***YOUR PUBLIC HEARING DATE WILL BE SCHEDULED AT THIS TIME.***

NOTE:

IF IT IS EASIER FOR YOU, YOU CAN BRING THE ENVELOPES WITH YOU WHEN YOU PICK UP AND PAY FOR YOUR LIST. YOU CAN PUT THE LABELS ON AT THAT TIME AND BRING THEM TO THE ZBA OFFICE FOR COMPLETION.

**** MUST READ AND SIGN ****

I UNDERSTAND THAT I WILL BE BILLED DIRECTLY FOR MY "LEGAL NOTICE" TO BE PUBLISHED IN THE SENTINEL NEWSPAPER FOR MY PUBLIC HEARING....(this charge is not deducted from your escrow posted).

SIGNATURE

DATE

NOTE:

THE ZBA MEETS ON THE 2ND AND 4TH MONDAY OF EACH MONTH UNLESS A HOLIDAY FALLS ON THAT DATE. (JULY AND AUGUST – ONE MEETING PER MONTH ONLY)

PAGE 2

COMPLETE THIS PAGE ☐

04-47